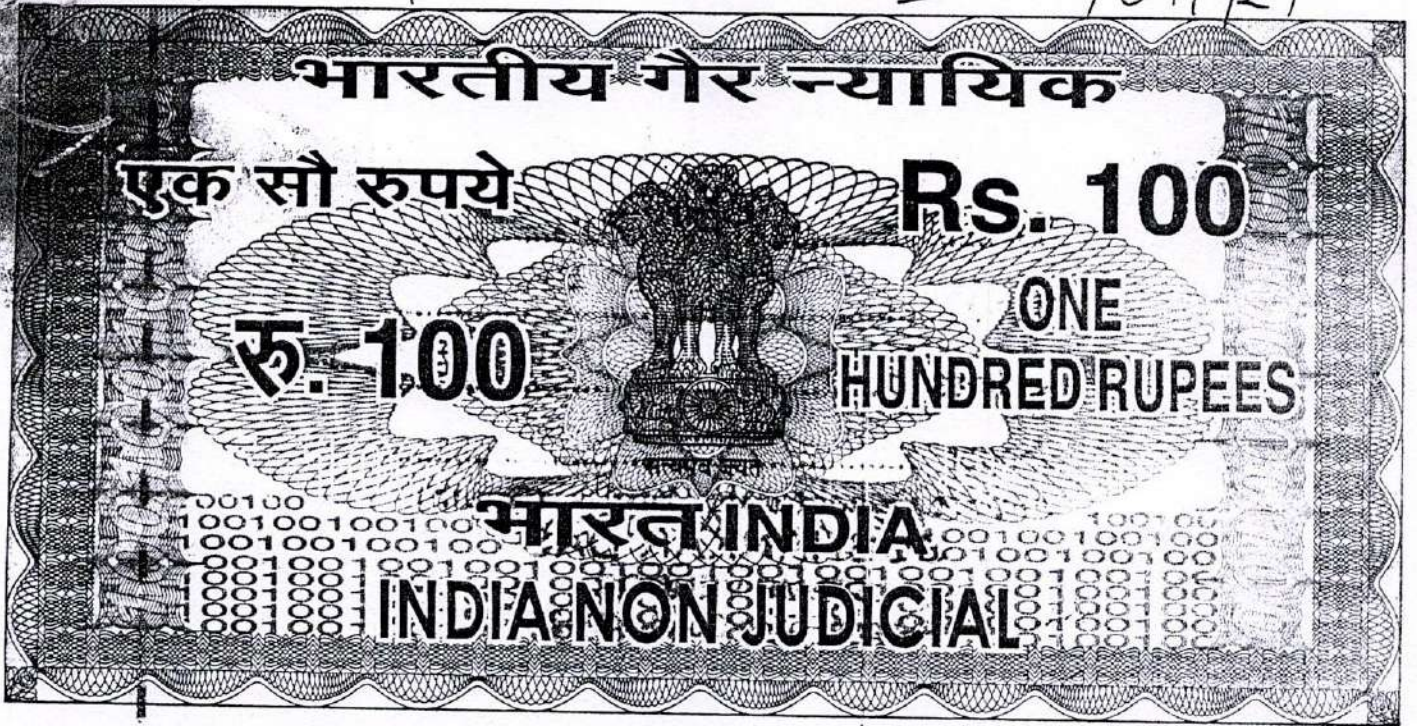


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certified that the document is admitted in registration. The signature sheets and the endorsement sheets attached with the document are the part of this document.

District Sub-Registrar-III
 Alipore, South 24-parganas

7 JUN 2024

DEVELOPMENT AGREEMENT

THIS DEVELOPMENT AGREEMENT is made this the 07th day of
 June....., 2024 A.D. (Two Thousand and Twenty Four A.D.)

BETWEEN

[Faint, illegible text and a rectangular box, likely a stamp or signature area.]

SRI DEBSANKAR ADDY, (PAN NO – BOCPA9566E / AADHAAR NO – 947795738877), Son of Late Nirod Kumar Addy, by faith – Hindu, by Nationality – Indian, by occupation – Retired, residing at – 15B, Raj Krishna Chatterjee Road, P.S. + P.O. - Kasba, Kolkata – 700 042, Dist- South 24 Parganas and SEULI SEN, (AADHAAR NO. 534138401065/PAN NO. FTWPS0487K) W/O Late Samit Sen, by faith - Hindu, by occupation – Housewife, residing at- 15B, Raj Krishna Chatterjee Road, P.S. + P.O. - Kasba, Kolkata – 700 042, Dist- South 24 Parganas, hereinafter referred to and called for as the “OWNERS” (which term or expression shall unless excluded by or repugnant to the context, be mean and include his heirs, legal representatives, executors and assigns) of the “FIRST PART”.

-AND-

“A. DAS & CO”, a sole proprietorship firm, having its principal place of business at 138A, Swinhoe Lane, Kolkata – 700 042, P.S. Kasba, represented by its sole proprietor, SRI ASHUTOSH DAS, (PAN NO. AFLPDI633A/AADHAR NO.4706 8097 5376/ MOB. NO.9836297091) Son of Late Manotosh Das, by faith-Hindu, by Occupation-Business, residing at 138A, Swinhoe Lane, Kolkata – 700 042, P.O. + P.S. Kasba, District – South 24 Parganas, herein after referred to as the DEVELOPER (Which expression shall unless excluded by or repugnant to the context shall mean and include his heirs, administrators, legal representatives and assigns) SECOND PART.

WHEREAS by virtue of a registered Deed of Amalgamation, registered in the office of the DSR III Alipore, recorded in Book No.1, Volume No. 1603-2024, Being No. ১৫৫৯১১১১১., for the year 2024 the Owners herein became the absolute owner of ALL THAT the piece and parcel of land measuring about 04 Cottahs 13 Chittacks 00 Sq. Ft. more or less comprised in Mouza- Kasba, J.L. NO. 13, R.S. No. 233, C. S. Khatian No. 594, Dag No. 609, comprised in Municipal Premises No. 15B, Raj Krishna Chatterjee Road (R. K. Chatterjee Road), P.S. – Kasba, Kolkata-700042, Dist- South 24 Parganas, within the limits of the Kolkata Municipal Corporation, under Ward No. 67, being Assessee No. 210672001043, which is particularly mentioned in the Schedule 'A' hereunder written;

AND WHEREAS for the purpose of commercial exploit of said land the aforesaid Owners have decided to erect a G plus three storied building on the afore said plot of land. But due to lack of sufficient financial fund, their aforesaid desire cannot be fulfilled out of their own, in this process to fulfill such desire they are in search of a competent Developer/firm, who have the ability to fulfill such desire.

AND WHEREAS after knowing such intention of the Owners herein the aforesaid Developer has approached to the Owners herein to allow him to Develop the said landed property and erect a multi storied building on the said plot of land out of his fund and own personnel and after protracted negotiation

between the parties herein the Owners have finally decided to allow the aforesaid Developer to develop their landed property on such terms and conditions as embodied herein.

NOW THESE PRESENTS WITNESSETH AND IT IS HEREBY AGREED BY AND BETWEEN THE PARTIES HERE TO as follows:

DEFINITION

Unless there is anything repugnant to the subject or context the following terms will have the meaning assigned to them: -

- 1) OWNERS shall mean Owner SRI DEBSANKAR ADDY, (PAN NO – BOCPA9566E / AADHAAR NO – 947795738877), Son of Late Nirod Kumar Addy, by faith – Hindu, by Nationality – Indian, by occupation – Retired, residing at – 15B, Raj Krishna Chatterjee Road, P.S. + P.O. - Kasba, Kolkata – 700 042, Dist- South 24 Parganas and SEULI SEN, (AADHAAR NO. 534138401065/PAN NO. FTWPS0487K) W/O Late Samit Sen, by faith - Hindu, by occupation – Housewife, residing at- 15B, Raj Krishna Chatterjee Road, P.S. + P.O. - Kasba, Kolkata – 700 042, Dist- South 24 Parganas and their heirs, executors, administrators and legal representatives.
- 2) DEVELOPER shall mean above named Developer "A. DAS & CO", a sole proprietorship firm, having its principal place of business at 138A, Swinhoe Lane, Kolkata – 700 042, P.S. Kasba, represented by its sole

proprietor, SRI ASHUTOSH DAS, (PAN NO. AFLPD1633A/AADHAR NO.4706 8097 5376/ MOB. NO.9836297091) Son of Late Manotosh Das, by faith- Hindu, by Occupation-Business, residing at 138A, Swinhoe Lane, Kolkata – 700 042, P.O. + P.S. Kasba, District – South 24 Parganas and his heirs, executors, administrators and legal representatives.

- 3) BUILDING shall mean a G plus three storied building to be constructed on the aforesaid landed property according to the sanctioned plan to be sanctioned from KMC.
- 4) ADVOCATE : Advocate shall mean Mr. Pranab Ray, Advocate, Alipore Judges' Court, Kolkata – 700027, or such Advocate or Advocates to whom the Owners and the Developer from time to time appoint as the Advocate for the Project.
- 5) COMMON FACILITIES AND AMENITIES shall include corridors, stairways, passageways, semi underground water reservoir, overhead water tank, water pump and motor and roof and other facilities which may be mutually agreed upon between the parties and required for the establishment, location enjoyment provisions, maintenance and management of the building.

- 6) SALEABLE SPACE shall mean the space in the building available for independent use and occupation after making due provisions for common facilities and the space required therefore.
- 7) OWNER'S ALLOCATION shall mean the portion of the building which is to be allocated to the Owner as part of Owner's portion in accordance with the terms and conditions of these presents including proportionate share in the land and common facilities and amenities and as described in the Second Schedule hereunder.
- 8) DEVELOPER'S ALLOCATION shall mean the remaining portion of the building on the said property after allocation made to the Owner including proportionate share in the land and common facilities and amenities of the building on the said property.
- 9) BUILDING PLAN shall mean sanctioned building plan, which is to be submitted before the Kolkata Municipal Corporation.

LICENCE TO DEVELOP

- 10) The Owners hereby entrust handover and give license to Developer to enter into the said property, Develop the property and construct a G plus three storied building thereon containing dwelling units and /or Ownership Flats with the best materials and in accordance with the sanctioned building plan and also the specification mention hereinafter at the cost of the Developer.

- 11) That the Owners shall have the responsibility to clear all the pending taxes of the property the Developer shall clear the tax and other expenses initially which amount shall be deducted from the forfeit amount.
- 12) The Developer after necessary searching and being satisfied about the title of the Owners hereby agree to develop and /or caused to be develop the said property by constructing G plus three Storied building with best materials containing in the building dwelling units/ and or flats in accordance with specification plan sanctioned by the concerned authority and at his own costs and expenses and arrange his own finance and at his own risk and responsibility. Without causing any financial liability to the Owners.

DEVELOPER'S OBLIGATIONS

- 13) The Development of the said property by constructing, buildings containing dwelling units and / or ownership flats shall commence forthwith all earnestness in accordance with the specifications, plans, schemes and approvals of the competent authorities, rules regulations and bye laws of the authorities applicable at the cost, risk and responsibility of the Developer, the Owners having no responsibility in respect thereof in any manner whatsoever save as contained herein.

- 14) In constructing the buildings and providing dwelling units the Developer shall install in the said buildings at his own costs water storage tanks, overhead reservoirs, electrical installations, electrical wirings, water pipes and all other facilities and amenities attendant to dwelling units and/or ownership flats and/or as required to be provided in such building to make the dwelling units for comfortable habitation and the Developer shall construct the building only according to the sanctioned plan of KMC and the Developer shall be liable for any accident and local disputes and KMC disputes at his own cost.

TIME IS ESSENCE OF CONTRACT

- 15) The Developer covenant and agree to complete the Development Work and construction of the multi storied building with all amenities therein and thereon within 24 months from the date of Sanctioned Plan.

DEVELOPER'S RIGHTS

- 16) The Developer shall be entitled to advertise in his own name about the said development of the property of and proposed sale of flats in the buildings to be constructed and to put up advertisement Board on the property in respect of Developer's Allocation.
- 17) The Developer shall be entitled to enter into any agreement with any building contractor, architect and appoint agents but not to assign the benefit of this contract, for the purpose of development of the said property in his own name and costs, risks and expenses.

OWNERS TO BE INDEMNIFIED

- 18) Notwithstanding anything contained in these presents the shall indemnify and keep indemnified the Owners against and from all losses, claims, damages, costs, charges and expenses that may be made, incurred or suffered by the Owners in relation to the said property, construction of new building and in relation thereto or for any breach of any contract by the Developer or violation of any permission, rules, regulations or bye-laws or arising out of any accident or otherwise.

OWNERS TO EXECUTE DOCUMENTS

- 19) The Owners shall at the request and costs, expenses and charges of the Developer, sign, execute from time to time all plans, applications for layouts, construction of the buildings and structures on the said property and all other documents that might be necessary for giving proper effect of these presents.

POWER OF ATTORNEY

- 20) The Owners shall at the costs of and request of the Developer execute Registered Development Power of Attorney in favour of the Developer giving him all necessary General powers required to carry out the work of development and completion of the project herein and also to sell out the Developer's Allocation to the Intending Purchaser/s. The Said power shall be executed on the date of execution of these presents.

OWNER'S UNDERTAKINGS

- 21) The Owners declare that they have not agree, committed to or contracted or entered into any agreement for sale or lease of the said property or any part thereof to any person other than the Developer and that they had not created any lien, charge, mortgage or encumbrances on the said property and that he would keep the said property free from encumbrances during the subsistence of these presents and if any contract exists in that event the Owners will clear the same at their own cost.
- 22) The Owners further declare that so far knowledge goes they have not done any act, thing, deed or mater whereby or by reason whereof the Development and construction of the said property and/or buildings may be affected or prevented in any manner whatsoever and that they undertakes to remove any possible impediment to the implementation of these presents, if the same is within their power and control.
- 23) The Owners declare that they have not received and so far their knowledge goes the Government, Local Authority, Municipal Authority or any other Authority has not issued any notice affecting the said property or imposing any restriction on the development of the said property in the manner proposed herein.
- 24) The Owners hereby agree, covenant and undertake not to cause any interference by themselves or through others in the development of the property or in the construction of the new buildings on the said property by the Developer or through his agents so long as the Developer

construct the building as per plan sanctioned from KMC or do anything, deed or act preventing the Developer from disposing of, selling, assigning or disposing of or transferring any portion of the Developer's Allocation of the new building or to deal with the said Developer's Allocation in any manner whatsoever. Be it mentioned here that the Developer shall handover the Owner's Allocation prior to handover the Developer's Allocation to the intending Purchaser/s. if the Developer neglects to do so in that event the Owners shall have every right to sue the Developer before the competent court.

- 25) The Owners agree to all pay municipal rates and taxes, and others outgoings in respect of the said property after receiving Owner's Allocation and the Developer shall pay and bear all municipal rates and taxes and other outgoings from this day of execution of this agreement till he deliver possession of the Owners' Allocation to the Owners from which date the Owners will pay such rates, taxes and outgoings proportionate to the Owner's Allocation and the Developer will bear such rates, taxes and outgoings in respect of the Developer's Allocation.
- 26) On completion of the new building and after making the flat/s habitable in all respect the Developer shall give notice in writing to the Owners when the Owners would be at liberty to take possession on and from the date specified of the Owners' allocation in the new said building which is complete in all aspect.

On receipt of the notice on and from the date mentioned in the notice for taking possession the Owners which is complete in all aspect shall be responsible to pay all rates, taxes service charges and other outgoings in respect of common facilities in the building proportionate to the Owner's Allocation, and the intending Purchaser/s of Developers Allocation shall also be liable to pay all rates, taxes service charges and other outgoings in respect of common facilities in the building proportionately.

- 27) The roof right of the said building is common to all occupiers and every occupiers are entitled to use the roof for individual purpose without creating any disturbance to the others occupiers right.

SCHEME FOR MANAGEMENT

- 28) A Scheme shall be framed by the parties herein for the Management and Administration of the new building including the portions in common use and sharing the expenses of management, administration and maintenance of amenities in the said building including the user thereof and such scheme and any rules and regulations framed under the scheme shall be binding on the occupiers of the said new building including in the Owner's Allocation and in the Developer's Allocation.

RESTRICTION AS TO USER OF THE BUILDING

- 29) Any transfer of any portion of the said building out of the Owner's Allocation by the Owners or developer's allocation shall be subject to the provisions contained herein and all occupiers shall be bound by the

provisions contained in any agreement, rules, regulations, by laws and restrictions contained herein.

- 30) Neither the Owners nor the Developer nor any person occupying any portion of the said building whether in the Owner's Allocation or in the Developer's Allocation shall use or permit to be used his/her/their portion or space occupied by him or his agents for carrying on any illegal or immoral trade or activity or do or allow anything to be done that might cause any nuisance or annoyance or hazard to anybody inside the building or outside the building or to store any inflammable or explosive materials, goods or products.
- 31) No structural alterations in the building shall be made without the written consent of the Owners of the said building subject, however, to a sanction of the concerned authorities, if necessary.
- 32) On performing their obligations under these presents if the Owners or Developer transfers any portion out of their respective allocations, such transfer shall be subject to the terms and conditions, restrictions and covenants contained herein and in any documents or conveyance that might be executed should recite about the transfer agreement.
- 33) It will be obligations of the Owners, the Developer and occupier of each portion of the said new building to keep the interior walls, floors, ceilings, fittings, electric wirings and gadgets, fixtures, appurtenances, pipes, drains, sewers and all other amenities in their respective portions or spaces occupied by them in good repair and perfect working condition

- and take all possible steps to prevent any damage being caused to the building or any portion thereof or cause any inconvenience to the occupiers of any other portion of the said building and in case of failure to perform any of the obligations they shall be liable to indemnify the Owner/s, occupier/s or the persons suffering damages or injury.
- 34) The Owners, Developer, occupiers or their agents in the new building shall not keep any articles or display anything in the corridor or places of common use or do anything which might cause inconvenience or hindrances in any manner in the free movement of men and materials.
- 35) The Owners, Developer, their agents, nominees or occupiers of any portion of the said new building shall not throw or accumulate any dirt, rubbish, waster or refuse or permit or allow anybody to do the same inside the spaces meant for common use or in the compounds or in or about the building.
- 36) After formation of association the association of the building will decide that certain repairs, cleaning, testing or other things are necessary to be done in any portion of the new building, the Owners, Developer and Occupier, as the case may be, shall permit the management or its nominee with or without workmen and technicians on prior notice to enter into and upon the rooms, flats, spaces for the purpose of repairing, cleaning, testing maintaining, re-building or replacing drains, gas connections, electric wiring, water pipes, sanitary drains and/ or pipes and/or fittings and any other matter which might affect the enjoyment of

any portion of the said building by any person being the Owners or occupiers thereof.

DEED OF CONVEYANCE

37) After the delivery of possession of the Owners' Allocation as well as all the related dealings with the Owners in respect of the said construction, completion of construction of the building, and sale of flats, if any, the Developer shall make over the building formally to the Owner where upon the Owners shall directly execute and deliver one or more Deeds of Conveyance in favour of incoming purchaser/s, association and the Developer shall join therein as confirming Party, if so required, all the expenses being borne by the Developer and / or purchaser/s of flats.

NOT PARTNERSHIP OR JOINT VENTURE

38) The Parties hereby declare and agree that these presents do not constitute and the parties do not intend to be a partnership or joint venture or association of persons.

NOT A DEMISE

39) It is declared and agreed that these presents shall not be treated as a conveyance or demise or transfer of any right or title or interest in the said property to the Developer excepting the right to develop and /or construct a G plus three Storied building. These presents shall be treated only as a License in favour of the Developer to do all acts, things, and deeds expressly provided herein and contained in the Power of Attorney to be executed.

DELIVERY OF TITLE DEEDS

- 40) The Developer shall be entitled to inspect the title deeds in possession of the Owner and shall be entitled to delivery of such Xerox copies of title deeds and the Owners shall be responsible to show the original as and when that will be asked by the Developer.

FORCE MAJEURE

- 41) If either party be prevented from performing his part of the obligations under these presents due to the existence of force majeure such as earthquake, flood, riot, war, storm, tempest, civil commotion, blasts, malicious damages, fire or any other act or omission or cause beyond the control, or any unseen avoidable circumstances of the party concerned provided that the cause was not induced by the party himself.

COMPESNATION FOR BREACH

- 42) Either of the parties herein committing any breach of these presents or any of the terms hereof or unduly delays performance of his obligations herein shall be liable to pay compensation to the party aggrieved.

JURSDICTION

- 43) Only the Courts of Kolkata shall have jurisdiction to entertain try and determine or adjudicate all actions, suits and legal proceedings arising out of or in relation to these presents, the award of Arbitrator or otherwise between the parties herein.
- 44) Be it noted here that by this development agreement and the related development power of attorney, the Developer shall only be entitled to

receive consideration money by executing Agreement/Final Document for transfer of property as per provisions laid down in the said documents as a Developer without creating any obligation upon the Owner without getting any part of the property under schedule. This Development Agreement and the related Development Power of Attorney shall never be treated as the Agreement/Final Documents for transfer of property between the Owners and the Developer in anyway. This clause shall have overriding effect to anything written in these documents in contrary to this clause.

THE FIRST SCHEDULE ABOVE REFERRED TO

ALL THAT the piece and parcel of land measuring about 04 Cottahs 13 Chittacks 00 Sq. Ft. more or less comprised in Mouza- Kasba, J.L. NO. 13, R.S. No. 233, C. S. Khatian No. 594, Dag No. 609, comprised in Municipal Premises No. 15B, Raj Krishna Chatterjee Road (R. K. Chatterjee Road), P.S. - Kasba, Kolkata-700042, Dist- South 24 Parganas, within the limits of the Kolkata Municipal Corporation, under Ward No. 67, being Assessee No. 210672001043, which butted and bounded as follows:-

ON THE NORTH BY : PREM. NO. 15J, R. K. CHATTERJEE ROAD & 15A/1, R. K. CHATTERJEE ROAD & 15/A, R. K. CHATTERJEE ROAD;

ON THE SOUTH BY : 20 FEET WIDE R. K. CHATTERJEE ROAD (KMC BLACK TOP ROAD) & PORTION OF PREM. NO. 3/7, R. K. CHATTERJEE ROAD (OLD KASBA P.S.);

ON THE EAST BY :06 FEET WIDE PRIVATE PASSAGE;
 ON THE WEST BY :PORTION OF PREM. NO.3/7, R. K.
 CHATTERJEE ROAD (OLD KASBA P.S.)
 & PORTION OF 15J, R. K. CHATTERJEE
 ROAD;

THE SECOND SCHEDULE ABOVE REFERRED TO

OWNER'S ALLOCATION

The Developer agree to allocate the Owner a ground floor North-South-West side flat measuring an area about 550 sq. ft. S.B. area more or less and ground floor North side office space measuring an area about 100 sq. ft. S. B. area more or less, a First floor North-South-West side flat measuring an area about 550 sq. ft. S.B. area more or less and a Second floor North-South-West side flat measuring an area about 550 sq. ft. S. B. area more or less* (each flat 02 bed rooms, one dining cum kitchen, one W.C. and one bath cum privy) and a flat on the top floor 300 sq. ft. S.B. area more or less (one bed room, one dining cum kitchen, one balcony and one toilet) and the Developer shall pay Rs.60,00,000/- (Rupees Sixty Lacs) only as forfeit money of which Rs.15,00,000/- (Fifteen Lacs) only on this day of execution of this agreement, balance amount by different installments before hand over of possession of the Owner's Allocation. The Developer shall pay three shifting charges of the Owner @ Rs.7,500/- per month ^{in South East direction} and the Developer shall retain the demolishing materials of the existing structure, tenants/occupiers portion will be adjusted from owners ratio and pending taxes shall be cleared by the Owners.

DEVELOPERS ALLOCATION

ALL THAT the rest area after Owner's Allocation on ground floor to Second floor each floor North-East-South side and rest area of the third floor, together with right of common areas in the proposed building, will be the Developer's Allocation.

THE THIRD SCHEDULE ABOVE REFERRED TO
SPECIFICATION

FOUNDATION

RCC foundation and framed structure for ground floor to top floor, Cement – Ultra Tech.

WALL

All external walls will be 8" thick with Cement plastering; interior walls 3" thick and will be furnished with plaster of Parish, Outside colour of the Building.

CEMENT

Ultratech, Ambuja, Ramco etc.

IRON

ISI Mark.

DOORS

Sal Wooden Framed will be used for all doors and phenol bond commercial ply flush door will be provided with has bolt, with lock, chitkani.

WINDOWS

Sliding windows with glass and grill.

FLOORS

All floors or room, stair and verandah will be done with Floor tiles with skirting and stair will be of Marble.

TOILET & SANITARY FITTINGS

Flooring will be done with Floor tiles and wall tiles (glazed tiles) white unto 05 feet from floor level, one Western Commode (white colour). All sanitary fittings will be of PVC pipe concealed arrangements. All the pan will be white colour and outside all pipe (water and soil pipe) PVC will be provided, each flat consisting of one bath room only, two taps,

one shower, all fittings will be of ISI mark,
PVC door in bath room.

ELECTRIC :

All main lines and individual wiring should be of concealed type by copper flexible wire and PVC pipes as per approved gauge. Earthing must be done as per CESC specification and regulations and be with copper wire of approved gauge.

- i) Bed room / Dining room/study room :
2 lights, two / one fan, one 5 amps,
plug point.
- ii) Kitchen :- One Light, and one 15 amp
plug point.
- ii) Toilet : One Light, one plug point.
- iii) Only one CESC meter for Owner.

EXTRA WORK

Any extra work other than out specification shall be Charged extra as decided by our Engineer and such amount shall be deposited before the execution of work.

TAXES

Taxes or any other consolidated demand is made for the land/building as a whole the same to be paid by the purchaser proportionate to area of apartment [from the date of possession].

KITCHEN

One kitchen sink, one tap on the sink, Black stone kitchen top 3' height tiles on the kitchen slab.

REGISTRATION

All cost of registration of unit to be paid by the buyer only.

- Over head and underground water tank, septic tank, 01 H.P. pump, Municipal water supply line connection, one common meter for common purpose.
- Maintenance charges shall be borne by the flat owners of the said premises/building.

SCHEDULE 'C' REFERRED TO ABOVE
(Common portion, services areas common to all co-flat owners
of the said Building and common facilities)

- A) The foundations, columns, beams, grider, supports, main walls, corridors, lobbies, stairs, stairways, roof, common walls, boundary walls, entrance to and exits from the flat / building, gates ultimate roof and parapet walls being constructed on the said free hold land and intended for common user, meter spaces and other spaces and facilities whatsoever required for the establishment boundary walls including outside the walls of the said building and main gates.
- B) Installations of common services viz. electricity, water pipes, sewerage, drains, rain water pipes etc.
- C) Pump, Motor, pipes and all apparatus and installations to the said building.
- D) KMC water connection, water reservoir on the roof top and underground water tank, water distribution pipes line of the building, erected for common use of all the purchasers.
- E) KMC sewerage connections septic tank evolution sewerage pipe lines drains, sewers in the building and from the building for use of all the owners of the said building.

- F) Stairways, staircase, landing, lobbies, open spaces, windows etc and ultimate roof and roof top of the building.
- G) Lighting in the common space passages, including fixtures and fittings.
- H) Common electric meter, meter – box, space thereof along with fixture and fittings.
- I) Open space surrounding the said building of other owners. Flat owners shall keep the common passages open to sky.
- J) All other parts of the said building necessary for its existence, maintenance and safety for normally in common use of the owners of the respective flats along with right to enjoy the roof of the building and also right to use the roof for all ceremonial occasion and for maintaining TV Antenna, Disc. Antenna, Solar Panel or any other gadgets (without disturbing the co-flat owners / occupiers by reason).
- K) All other any other common facilities, benefits, privileges attributed to the premises.

SCHEDULE 'D' ABOVE REFERRED TO

(Common Expenses)

Common expenses and outgoings and obligations for which all the co-owners of the flats of the said premises are to contribute proportionately to the Association to be formed by them.

- A) The expenses for maintaining, repairing, painting, white washing, renovating the main structure of the building including the exterior of the building and also the common areas mentioned in this schedule and expenses for decorating the exteriors of the premises.
- B) The expenses of maintaining, repairing, renewing, replacing the main structure and in particular the drawing system, sewerage rain water discharge arrangement, water supply system and supply of electricity to all common areas mentioned in this schedule.
- C) All expenses for common cleaning, lighting of the passage, space, lobby, corridors, windows, staircases, roof and other common areas, of the building. All expenses for running and keep operational of all machinery equipments and installations in common areas viz. water pumps, motor etc and other fittings and apparatus and gadgets in common system already fitted or to be

fitted along with the cost of repairing, replacing, renovating, or new purchasing for the common use of the purchasers.

- D) Salary, wages, fees and remuneration of darwan, caretaker, sweeper, plumber, electrician, mali or any other person whose appointment may be considered necessary for maintenance and protection of the said premises and administration and management of the affairs thereof only to be decided by the Flat Owners Association for their common interest and purpose.
- E) All expenses for establishment and / or running the Association and miscellaneous expenses thereof may be incurred for common purpose.
- F) All other expenses and outgoings as are / may be incurred by of common services and in common with common areas and facilities.
- G) Such expenses as are necessary for or incidental to the maintenance and keeping of the premises and of the common areas, facilities and amenities.

IN WITNESSES WHEREOF the parties hereto have hereunto executed these presents on the day, month and year first above written.

SIGNED & DELIVERED

By the both the "PARTIES" at

Kolkata in the Presence of: -

1. Somnath Dutta
117 Bosepukur Rd.
Kot-39

Debabankar Saha
Seuli Sen

OWNERS

2. Rajesh Singh
2 of, Chatterhat Rd
Kot-27

A. DAS & CO.
Proprietor

DEVELOPER

MONEY RECEIPT

I the with named Owner herein do here by received Rs. 15,00,000/-
(Rupees Fifteen Lacs) only by Cheque as forfeit money from the with
named Developer on this day of execution of this agreement.

SL	DATE	CH. NO.	BANK	AMOUNT
1	28-04-2024	095545	C.B.I.	2,50,000/-
2	28-04-2024	095546	C.B.I.	2,50,000/-
3	29-04-2024	592068	INDIAN BANK	5,00,000/-
4	02-05-2024	592069	INDIAN BANK	5,00,000/-
			TOTAL	15,00,000/-

WITNESSES:

[1] Somvati Dubta

Devi Sanjivani Dubta

Siculi Sen

OWNERS

[2] Rajesh Singh

DEVELOPMENT POWER OF ATTORNEY

KNOW ALL MEN BY THESE PRESENTS we SRI DEBSANKAR ADDY, (PAN NO – BOCPA9566E / AADHAAR NO – 947795738877), Son of Late Nirod Kumar Addy, by faith – Hindu, by Nationality – Indian, by occupation – Retired, residing at – 15B, Raj Krishna Chatterjee Road, P.S. + P.O. - Kasba, Kolkata – 700 042, Dist- South 24 Parganas and SEULI SEN, (AADHAAR NO. 534138401065/PAN NO. FTWPS0487K) W/O Late Samit Sen, by faith - Hindu, by occupation – Housewife, residing at- 15B, Raj Krishna Chatterjee Road, P.S. + P.O. - Kasba, Kolkata – 700 042, Dist- South 24 Parganas, do here by affirm and declare as follows;

WHEREAS we are the absolute owner of ALL THAT the piece and parcel of land measuring about 04 Cottahs 13 Chittacks 00 Sq. Ft. more or less comprised in Mouza- Kasba, J.L. NO. 13, R.S. No. 233, C. S. Khatian No. 594, Dag No. 609, comprised in Premises No. 15B, Raj Krishna Chatterjee Road (R. K. Chatterjee Road), P.S. – Kasba, Kolkata-700042, Dist- South 24 Parganas, within the limits of the Kolkata Municipal Corporation, under Ward No. 67, being Assessee No. 210672001043 and we have entered in to a Registered Development Agreement, with “A. DAS & CO”, a sole proprietorship firm, having its principal place of business at 138A, Swinhoe Lane, Kolkata – 700 042, P.S. Kasba, represented by its sole proprietor, SRI ASHUTOSH DAS, (PAN NO. AFLPD1633A /AADHAR NO.4706 8097 5376/ MOB. NO.9836297091) Son of Late Manotosh Das, by faith- Hindu, by

Occupation-Business, residing at 138A, Swinhoe Lane, Kolkata – 700 042, P.O. + P.S. Kasba, District – South 24 Parganas, to develop our aforesaid property and for such it would not be possible for us to look after individually our said property.

THAT we do hereby and hereunder appoint "A. DAS & CO", a sole proprietorship firm, having its principal place of business at 138A, Swinhoe Lane, Kolkata – 700 042, P.S. Kasba, represented by its sole proprietor, SRI ASHUTOSH DAS, (PAN NO. AFLPD1633A/AADHAR NO.4706 8097 5376/ MOB. NO.9836297091) Son of Late Manotosh Das, by faith- Hindu, by Occupation-Business, residing at 138A, Swinhoe Lane, Kolkata – 700 042, P.O. + P.S. Kasba, District – South 24 Parganas, as my constituted attorney to do all acts, things and deeds in my name and on my behalf.

NOW BY THIS POWER OF ATTORNEY, we do hereby and hereunder appoint, engage, constitute and empower the above named attorney to do any and all of the activities for and on our behalf.

1. To look after and supervise and administer our property as mentioned in the schedule written hereunder in our name and on our behalf.

2. To appear before the CESC, KMDA, B.L. L. & R.O. & other offices in respect of our Schedule mentioned property and to sign in necessary documents in our name on our behalf.
3. To do all such acts, deeds and things in our name and on our behalf in respect of the said property as mentioned herein under for proper administration thereof.
4. To submit application/s to the KMC and other authorities for approval of building plan in our name and on our behalf and to sign in our name on our behalf.
5. To obtain delivery of the sanctioned copies of plans and related documents on our behalf and to sign in all documents in our name and on our behalf.
6. To deposit taxes, charges, fees etc. as and when asked by any authority or authorities in our name and on our behalf and to sign in all documents in our name and on our behalf.
7. To appear before the Kolkata Municipal Corporation in respect of my schedule mentioned property for building plan, building rectification plan, Rule 25, Completion Certificate and other documents on our behalf and to sign in all documents in our name on our behalf.

8. To appear before the Kolkata Municipal Corporation in respect of our schedule mentioned property for sewerage connection, drainage connection, water connection and other necessary permissions on our behalf and to sign in our name and on our behalf in necessary documents.
9. To appear before the Kolkata Municipal Corporation in respect of our schedule mentioned property for mutation, for deposit of tax and other necessary application on our behalf and to sign in our name and on our behalf.
10. To appear before the CESC authority in respect of our schedule mentioned property for electric cable connection, apply for new meters, shifting of meters and other permission and/or application and to sign in all documents in our name and on our behalf,
11. To file suit, Appeal, Revision and make application to file petition in any Court of Law to protect my right and interest in our said property and to contest any suit, appeal, revision etc. by filing written objection and for such purpose to appoint any Lawyer, Barrister at his own choice on our behalf.
12. To appear and represent us before any Notary, Registrar of assurance, District Registrar, Sub- Registrar, Metropolitan

Magistrate and other officers or authorities having jurisdiction and to present for registration and to acknowledge and register or have registered and perfect all agreement for sale, declaration, Affidavit and / or deed of Conveyance etc. executed and signed by our said Attorney in any manner concerning the Developer's Allocation as mentioned in the Development Agreement and to receive the consideration money, in respect of the Developer's Allocation as mentioned in the Development Agreement save and except the Owner's Allocation as stated in the Development Agreement,

AND GENERALLY to do all acts, deeds and things in our name as we could have lawfully done and we hereby ratify and confirm and agree to ratify all and whatsoever our said Attorney shall lawfully do arise to be done in or about the said premises as aforesaid.

We do hereby agree to confirm and ratify all and whatsoever our said Attorney shall under this power in that behalf hereinbefore contained lawfully do or cause to be done in connection with the property mentioned in the schedule hereunder.

THE SCHEDULE ABOVE REFERRED TO

ALL THAT the piece and parcel of land measuring about 04 Cottahs 13 Chittacks 00 Sq. Ft. more or less comprised in Mouza- Kasba, J.L. NO. 13, R.S. No. 233, C. S. Khatian No. 594, Dag No. 609, comprised in Municipal Premises No. 15B, Raj Krishna Chatterjee Road (R. K. Chatterjee Road), P.S. – Kasba, Kolkata-700042, Dist- South 24 Parganas, within the limits of the Kolkata Municipal Corporation, under Ward No. 67, being Assessee No. 210672001043, which butted and bounded as follows:-

(ZONE – OTHER THAN ON R B CONNECTOR TO OTHER THAN ON R B CONNECTOR TO)

ON THE NORTH BY :PREM. NO. 15J, R. K. CHATTERJEE ROAD & 15A/1, R. K. CHATTERJEE ROAD & 15/A, R. K. CHATTERJEE ROAD;

ON THE SOUTH BY : 20 FEET WIDE R. K. CHATTERJEE ROAD (KMC BLACK TOP ROAD) & PORTION OF PREM. NO. 3/7, R. K. CHATTERJEE ROAD (OLD KASBA P.S.);

ON THE EAST BY :06 FEET WIDE PRIVATE PASSAGE;

ON THE WEST BY :PORTION OF PREM. NO.3/7, R. K. CHATTERJEE ROAD (OLD KASBA P.S.) & PORTION OF 15J, R. K. CHATTERJEE ROAD;

IN WITNESSES WHEREOF the parties hereto have hereunto executed these presents on the day, month and year first above written.

SIGNED & DELIVERED

By the both the "PARTIES" at

Kolkata in the Presence of: -

1. Somnath Dubta
117 Bosepukur Rd
Kof-39.

Debi Sampad Aditya

Seuli Sen

EXECUTANANTS

2. Rajesh Singh
201, Chatterjee Rd
Kof-27

Ashu Jaisankar
A. DAS & CO.
Proprietor

ATTORNEY

Drafted by me:

Pranab Ray
(PRANAB RAY)
Advocate
Alipore Judges Court,
Kolkata -700 027.
F-658/612/2000.



HAND	THUMB	INDEX FINGER	MIDDLE FINGER	RING FINGER	LITTLE FINGER
LEFT HAND					
RIGHT HAND					

SIGNATURE Debi Samant Das



HAND	THUMB	INDEX FINGER	MIDDLE FINGER	RING FINGER	LITTLE FINGER
LEFT HAND					
RIGHT HAND					

SIGNATURE Sevati Sen



HAND	THUMB	INDEX FINGER	MIDDLE FINGER	RING FINGER	LITTLE FINGER
LEFT HAND					
RIGHT HAND					

SIGNATURE _____



HAND	THUMB	INDEX FINGER	MIDDLE FINGER	RING FINGER	LITTLE FINGER
LEFT HAND					
RIGHT HAND					

SIGNATURE *Asim Loskhan*

Govt. of West Bengal
Directorate of Registration & Stamp
Revenue
GRIPS eChallan



192024250069981448

GRN Details

GRN	192024250069981448	Payment Mode:	SBI Epay
GRN Date:	06/06/2024 20:45:42	Bank/Gateway:	SBIePay Payment Gateway
BRN :	9629139189632	BRN Date:	06/06/2024 20:46:24
Gateway Ref ID:	0852133147	Method:	ICICI Bank - Retail NB
GRIPS Payment ID:	060620242006998143	Payment Init. Date:	06/06/2024 20:45:42
Payment Status:	Successful	Payment Ref. No:	2001386547/1/2024

[Query No*/Query Year]

Depositor Details

Depositor's Name:	Mr PRANAB ROY
Address:	7Z/2, P G 1ST LANE KOL - 39
Mobile:	9836382885
Period From (dd/mm/yyyy):	06/06/2024
Period To (dd/mm/yyyy):	06/06/2024
Payment Ref ID:	2001386547/1/2024
Dept Ref ID/DRN:	2001386547/1/2024

Payment Details

Sl. No.	Payment Ref No	Head of A/C Description	Head of A/C	Amount (₹)
1	2001386547/1/2024	Property Registration- Stamp duty	0030-02-103-003-02	40071
2	2001386547/1/2024	Property Registration- Registration Fees	0030-03-104-001-16	15028
			Total	55099

IN WORDS: FIFTY FIVE THOUSAND NINETY NINE ONLY.

Government of West Bengal
GRIPS 2.0 Acknowledgement Receipt
Payment Summary



060620242006998143

GRIPS Payment Detail

GRIPS Payment ID:	060620242006998143	Payment Init. Date:	06/06/2024 20:45:42
Total Amount:	55099	No of GRN:	1
Bank Gateway:	SBI EPay	Payment Mode:	SBI Epay
BRN:	9629139189632	BRN Date:	06/06/2024 20:46:24
Payment Status:	Successful	Payment Init. From:	Department Portal

Depositor Details

Depositor's Name: Mr PRANAB ROY
Mobile: 9836382885

Payment(GRN) Details

Sl. No.	GRN	Department	Amount (₹)
1	192024250069981448	Directorate of Registration & Stamp Revenue	55099
Total			55099

IN WORDS: FIFTY FIVE THOUSAND NINETY NINE ONLY.

DISCLAIMER: This is an Acknowledgement Receipt, please refer the respective e-challan from the pages below.

Major Information of the Deed

Deed No :	I-1603-09341/2024	Date of Registration	07/06/2024
Query No / Year	1603-2001386547/2024	Office where deed is registered	
Query Date	06/06/2024 12:13:29 AM	D.S.R. - III SOUTH 24-PARGANAS, District: South 24-Parganas	
Applicant Name, Address & Other Details	PRANAB RAY Thana : Alipore, District : South 24-Parganas, WEST BENGAL, Mobile No. : 9836382885, Status :Advocate		
Transaction	Additional Transaction		
[0110] Sale, Development Agreement or Construction agreement	[4002] Power of Attorney, General Power of Attorney [Rs : 0/-], [4305] Other than Immovable Property, Declaration [No of Declaration : 2], [4311] Other than Immovable Property, Receipt [Rs : 15,00,000/-]		
Set Forth value	Market Value		
Stampduty Paid(SD)	Rs. 2,27,36,250/-		
Rs. 40,171/- (Article:48(g))	Registration Fee Paid		
Remarks	Rs. 15,060/- (Article:E, E, E,) Received Rs. 50/- (FIFTY only) from the applicant for issuing the assement slip.(Urban area)		

Land Details :



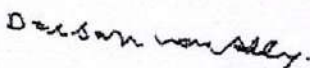


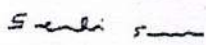
District: South 24-Parganas, P.S:- Kasba, Corporation: KOLKATA MUNICIPAL CORPORATION, Road: R. K. Chatterjee Road, Road Zone : (Other than on R.B. Connector -- Other than on R.B. Connector) , , Premises No: 15B, , Ward No: 067 Pin Code : 700042

Sch No	Plot Number	Khatian Number	Land Use Proposed ROR	Area of Land	SetForth Value (In Rs.)	Market Value (In Rs.)	Other Details
L1	(RS :-)		Bastu	4 Katha 13 Chatak		2,16,56,250/-	Width of Approach Road: 20 Ft.,
Grand Total :				7.9406Dec	0 /-	216,56,250 /-	

Structure Details :

Sch No	Structure Details	Area of Structure	Setforth Value (In Rs.)	Market value (In Rs.)	Other Details
S1	On Land L1	1600 Sq Ft.	0/-	10,80,000/-	Structure Type: Structure
Gr. Floor, Area of floor : 800 Sq Ft.,Residential Use, Cemented Floor, Age of Structure: 0Year, Roof Type: Pucca, Extent of Completion: Complete					
Floor No: 1, Area of floor : 800 Sq Ft.,Residential Use, Cemented Floor, Age of Structure: 0Year, Roof Type: Pucca, Extent of Completion: Complete					
Total :		1600 sq ft	0 /-	10,80,000 /-	










Land Lord Details :

Sl No	Name,Address,Photo,Finger print and Signature			
	Name Mr DEBSANKAR AUDDY Son of Late NIROD KUMAR AUDDY Executed by: Self, Date of Execution: 07/06/2024 , Admitted by: Self, Date of Admission: 07/06/2024 ,Place : Office	Photo  07/06/2024	Finger Print  Captured LTI 07/06/2024	Signature  07/06/2024
15B, RAJ KRISHNA CHATTERJEE ROAD, City:- , P.O:- KASBA, P.S:-Kasba, District:-South 24-Parganas, West Bengal, India, PIN:- 700042 Sex: Male, By Caste: Hindu, Occupation: Retired Person, Citizen of: India , PAN No.:: BOxxxxxx6E, Aadhaar No: 94xxxxxxxx8877, Status :Individual, Executed by: Self, Date of Execution: 07/06/2024 , Admitted by: Self, Date of Admission: 07/06/2024 ,Place : Office				
2	Name Mrs SEULI SEN Daughter of Late SAMIT SEN Executed by: Self, Date of Execution: 07/06/2024 , Admitted by: Self, Date of Admission: 07/06/2024 ,Place : Office	Photo  07/06/2024	Finger Print  Captured LTI 07/06/2024	Signature  07/06/2024
15B, RAJ KRISHNA CHATTERJEE ROAD, City:- , P.O:- KASBA, P.S:-Kasba, District:-South 24-Parganas, West Bengal, India, PIN:- 700042 Sex: Female, By Caste: Hindu, Occupation: House wife, Citizen of: India , PAN No.:: FTxxxxxx7K, Aadhaar No: 53xxxxxxxx0655, Status :Individual, Executed by: Self, Date of Execution: 07/06/2024 , Admitted by: Self, Date of Admission: 07/06/2024 ,Place : Office				



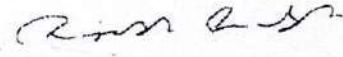
Developer Details :

Sl No	Name,Address,Photo,Finger print and Signature
1	A DAS AND CO 138A, SWINHOLE LANE, City:- , P.O:- KASBA, P.S:-Kasba, District:-South 24-Parganas, West Bengal, India, PIN:- 700042 , PAN No.:: AFxxxxxx3A,Aadhaar No Not Provided by UIDAI, Status :Organization, Executed by: Representative

Representative Details :

SI No	Name,Address,Photo,Finger print and Signature												
	<table border="1"> <thead> <tr> <th>Name</th> <th>Photo</th> <th>Finger Print</th> <th>Signature</th> </tr> </thead> <tbody> <tr> <td> Mr ASHUTOSH DAS (Presentant) Son of Late MANOTOSH DAS Date of Execution - 07/06/2024, , Admitted by: Self, Date of Admission: 07/06/2024, Place of Admission of Execution: Office </td> <td>  Jun 7 2024 10:58AM </td> <td>  Captured LTI 07/06/2024 </td> <td>  07/06/2024 </td> </tr> <tr> <td colspan="4"> 138A, SWINHOE LANE, City:- , P.O:- KASBA, P.S:-Kasba, District:-South 24-Parganas, West Bengal, India, PIN:- 700042, Sex: Male, By Caste: Hindu, Occupation: Business, Citizen of: India, , PAN No.:: AFxxxxxx3A, Aadhaar No: 47xxxxxxxx5376 Status : Representative, Representative of : A DAS AND CO </td> </tr> </tbody> </table>	Name	Photo	Finger Print	Signature	Mr ASHUTOSH DAS (Presentant) Son of Late MANOTOSH DAS Date of Execution - 07/06/2024, , Admitted by: Self, Date of Admission: 07/06/2024, Place of Admission of Execution: Office	 Jun 7 2024 10:58AM	 Captured LTI 07/06/2024	 07/06/2024	138A, SWINHOE LANE, City:- , P.O:- KASBA, P.S:-Kasba, District:-South 24-Parganas, West Bengal, India, PIN:- 700042, Sex: Male, By Caste: Hindu, Occupation: Business, Citizen of: India, , PAN No.:: AFxxxxxx3A, Aadhaar No: 47xxxxxxxx5376 Status : Representative, Representative of : A DAS AND CO			
Name	Photo	Finger Print	Signature										
Mr ASHUTOSH DAS (Presentant) Son of Late MANOTOSH DAS Date of Execution - 07/06/2024, , Admitted by: Self, Date of Admission: 07/06/2024, Place of Admission of Execution: Office	 Jun 7 2024 10:58AM	 Captured LTI 07/06/2024	 07/06/2024										
138A, SWINHOE LANE, City:- , P.O:- KASBA, P.S:-Kasba, District:-South 24-Parganas, West Bengal, India, PIN:- 700042, Sex: Male, By Caste: Hindu, Occupation: Business, Citizen of: India, , PAN No.:: AFxxxxxx3A, Aadhaar No: 47xxxxxxxx5376 Status : Representative, Representative of : A DAS AND CO													

Identifier Details :

Name	Photo	Finger Print	Signature
Mr RAJESH SINGH Son of Mr HARI SINGH 20/1, CHETLAHAT ROAD, City:- , P.O:- ALIPORE, P.S:-Alipore, District:-South 24 -Parganas, West Bengal, India, PIN:- 700027		 Captured	
	07/06/2024	07/06/2024	07/06/2024
Identifier Of Mr DEBSANKAR AUDDY, Mrs SEULI SEN, Mr ASHUTOSH DAS			

Transfer of property for L1

SI.No	From	To. with area (Name-Area)
1	Mr DEBSANKAR AUDDY	A DAS AND CO-3.97031 Dec
2	Mrs SEULI SEN	A DAS AND CO-3.97031 Dec

Transfer of property for S1

SI.No	From	To. with area (Name-Area)
1	Mr DEBSANKAR AUDDY	A DAS AND CO-800.00000000 Sq Ft
2	Mrs SEULI SEN	A DAS AND CO-800.00000000 Sq Ft

Endorsement For Deed Number : I - 160309341 / 2024

On 07-06-2024

Certificate of Admissibility(Rule 43,W.B. Registration Rules 1962)

Admissible under rule 21 of West Bengal Registration Rule, 1962 duly stamped under schedule 1A, Article number : 48 of Indian Stamp Act 1899.

Presentation(Under Section 52 & Rule 22A(3) 46(1),W.B. Registration Rules,1962)

Presented for registration at 10:43 hrs on 07-06-2024, at the Office of the D.S.R. - III SOUTH 24-PARGANAS by Mr ASHUTOSH DAS ,

Certificate of Market Value(WB PUVI rules of 2001)

Certified that the market value of this property which is the subject matter of the deed has been assessed at Rs 2,27,36,250/-

Admission of Execution (Under Section 58, W.B. Registration Rules, 1962)

Execution is admitted on 07/06/2024 by 1. Mr DEBSANKAR AUDDY, Son of Late NIROD KUMAR ADDY, 15B, RAJ KRISHNA CHATTERJEE ROAD, P.O: KASBA, Thana: Kasba, , South 24-Parganas, WEST BENGAL, India, PIN - 700042, by caste Hindu, by Profession Retired Person, 2. Mrs SEULI SEN, Daughter of Late SAMIT SEN, 15B, RAJ KRISHNA CHATTERJEE ROAD, P.O: KASBA, Thana: Kasba, , South 24-Parganas, WEST BENGAL, India, PIN - 700042, by caste Hindu, by Profession House wife

Identified by Mr RAJESH SINGH, , Son of Mr HARI SINGH, 20/1, CHETLAHAT ROAD, P.O: ALIPORE, Thana: Alipore, , South 24-Parganas, WEST BENGAL, India, PIN - 700027, by caste Hindu, by profession Others

Admission of Execution (Under Section 58, W.B. Registration Rules, 1962) [Representative]

Execution is admitted on 07-06-2024 by Mr ASHUTOSH DAS,

Identified by Mr RAJESH SINGH, , Son of Mr HARI SINGH, 20/1, CHETLAHAT ROAD, P.O: ALIPORE, Thana: Alipore, , South 24-Parganas, WEST BENGAL, India, PIN - 700027, by caste Hindu, by profession Others

Payment of Fees

Certified that required Registration Fees payable for this document is Rs 15,060.00/- (B = Rs 15,000.00/- ,E = Rs 28.00/- ,H = Rs 28.00/- ,M(b) = Rs 4.00/-) and Registration Fees paid by Cash Rs 32.00/-, by online = Rs 15,028/- Description of Online Payment using Government Receipt Portal System (GRIPS), Finance Department, Govt. of WB Online on 06/06/2024 8:46PM with Govt. Ref. No: 192024250069981448 on 06-06-2024, Amount Rs: 15,028/-, Bank: SBI EPay (SBIEPay), Ref. No. 9629139189632 on 06-06-2024, Head of Account 0030-03-104-001-16

Payment of Stamp Duty

Certified that required Stamp Duty payable for this document is Rs. 40,071/- and Stamp Duty paid by Stamp Rs 100.00/-, by online = Rs 40,071/-

Description of Stamp

1. Stamp: Type: Impressed, Serial no 23841, Amount: Rs.100.00/-, Date of Purchase: 19/04/2024, Vendor name: S DAS

Description of Online Payment using Government Receipt Portal System (GRIPS), Finance Department, Govt. of WB Online on 06/06/2024 8:46PM with Govt. Ref. No: 192024250069981448 on 06-06-2024, Amount Rs: 40,071/-, Bank: SBI EPay (SBIEPay), Ref. No. 9629139189632 on 06-06-2024, Head of Account 0030-02-103-003-02

Debasish Dhar
DISTRICT SUB-REGISTRAR
OFFICE OF THE D.S.R. - III SOUTH 24-
PARGANAS
South 24-Parganas, West Bengal

